



Horne Lake CD3 Zone - Summary of Changes

What has changed?

“Regional District of Nanaimo Zoning Bylaw No. 2500, 2024” (Bylaw 2500) has reorganized the Comprehensive Development Zones. As such, the zone that applies to Horne Lake Recreational Properties is now called Horne Lake Comprehensive Development Zone 3 (CD3).

Bylaw 2500 includes updated regulations that simplify the zone and regulations, while maintaining the seasonal residential nature of the area and the limited scale of development.

While no changes have been made to the use or size of a recreational residence, the CD3 zone includes the following changes:

- Added a definition for crawl space, clarifying regulations on acceptable and unacceptable unenclosed solutions.
- The Flood Construction Level (FCL) requirement has been removed from the zone and added to “Regional District of Nanaimo Flood Hazard Mitigation Bylaw No. 1872, 2023”.
- The maximum accessory building floor area has changed so that there is no longer a requirement for separate accessory buildings of a specified floor area. The changes allow a maximum accessory building floor area of 30 m² in recognition of the need to store recreational gear and boats.
- The zone allows more flexibility on how to apply the maximum allowable cabin floor area. Floor area may now be on a single storey or divided between two storeys.
- Height is proposed to be measured consistently with how it is measured in all other zones. Cabins will be permitted to be up to eight metres in height as measured from natural grade or FCL as applicable. Only a crawl space or unenclosed construction will be permitted below FCL.
- Clarification on what portions of a cabin can occur below the FCL has been included to ensure consistency.
- Setback from common property road has been clarified to reflect current practice of applying a five-metre setback.
- A number of diagrams have been included in Bylaw 2500 to improve bylaw usability.

Recreational Residence Floor Area

The CD3 zone permits up to a maximum of 105 m² of recreational residence floor area and up to a maximum of 40 m² of combined floor area for decks and porches provided the combined footprint of the recreational residence, deck, and porch do not exceed 120 m².

Want to read Bylaw 2500?

Bylaw 2500 is available online at: <https://www.rdn.bc.ca/bylaws-policies-forms-maps>

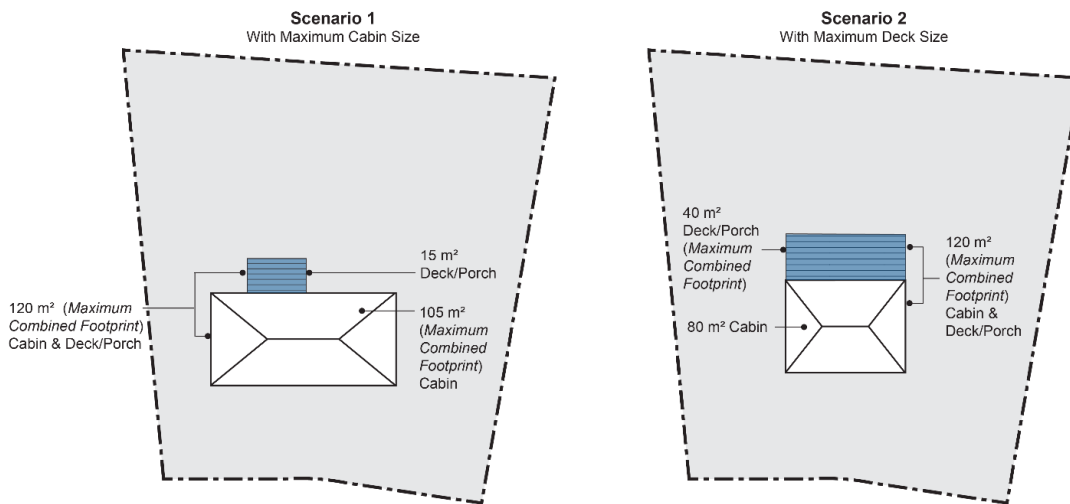
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This approach allows property owners with more flexible design options while maintaining a maximum combined footprint of 120 m² as shown on the diagrams below.

Supporting Diagrams

Combined cabin and deck footprint.

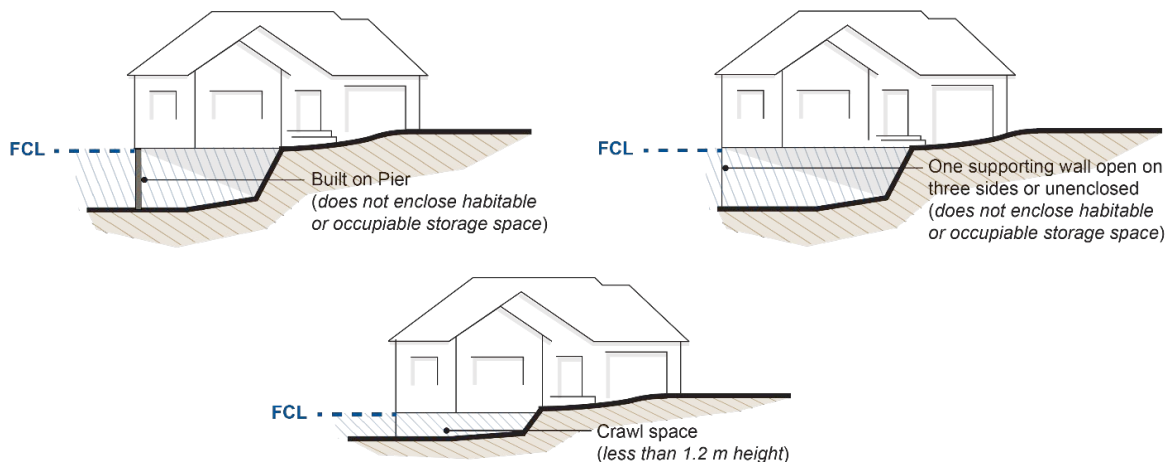


All portions of a Recreational Residence located below the FCL as defined by “Regional District of Nanaimo Flood Hazard Mitigation Bylaw No. 1872, 2023”, as amended or replaced from time to time, shall be limited to a Crawl space or remain fully unenclosed and not enclose habitable or occupiable storage space generally as shown in the diagrams below.

Acceptable recreational residence unenclosed solutions

Acceptable Unenclosed Solutions

Must be limited to minimum required for structural support by BCBC



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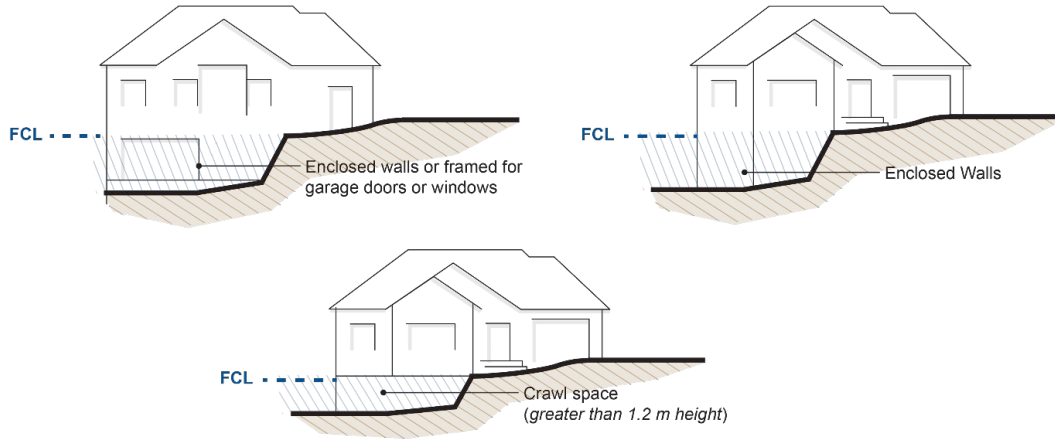
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Unacceptable recreational residence unenclosed solutions

Unacceptable Unenclosed Solutions



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